



7101 WAYNE AVE ~ UPPER DARBY, PA 19082  
WWW.ARMOREDHOMEINSPECTIONS.COM 610-352-2212

**05/11/12 INSPECTION REPORT FOR:  
1336 W. 65TH AVE., PHILADLEPHIA, PA 19126**



*This report has been prepared for the exclusive use of our client for whom it has been prepared, sharing of this information without prior permission from this client is prohibited.*



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TO: John Robinson  
RE: 1336 W. 65th Ave.,  
Philadelphia, PA 19126

Dear Mr. Robinson,

At your request, a home inspection of the above property was performed on 05/11/12. **Armored Home Inspections, LLC** is pleased to submit the enclosed report. This report is a professional opinion based on a visual inspection of the accessible components of the building.

A home inspection is intended to assist in evaluation of the overall condition of the dwelling. The inspection is based on observation of the visible and apparent condition of the structure and its components on the date of inspection. The results of this home inspection are not intended to make any representation regarding the presence or absence of latent or concealed defects that are not reasonably ascertainable in a competently performed home inspection. No warranty or guaranty is expressed or implied. If the person conducting your home inspection is not a licensed structural engineer or other professional whose license authorizes the rendering of an opinion as to the structural integrity of a building or its other component parts, you may be advised to seek a professional opinion as to any defects or concerns mentioned in the report. This home inspection report is not to be construed as an appraisal and may not be used as such for any purpose.

Your attention is directed to your copy of the Inspection Agreement which was submitted to you prior to the inspection. It more specifically explains the scope of the inspection and the limit of our liability in performing this inspection.

The information provided in this report is solely for your use. **Armored Home Inspections, LLC** will not release a copy of this report without your written consent.

Thank you for selecting our company. We appreciate the opportunity to be of service. Should you have any questions about the general condition of the property in the future, we would be happy to answer these. There is no fee for this telephone consulting. Our fees are based on a single visit to the property. If additional visits are required for any reason, additional fees may be assessed.

Professionally submitted by:  
**Armored Home Inspections, LLC**



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## Definitions

### CONVENTIONS USED IN THIS REPORT

PA Home Inspection Law. The Home Inspection is designed to comply and reflect the provisions of Act 114, Section 75, known as the Pennsylvania Home Inspection Law. The purpose and scope of the Home Inspection of the Property by the Inspection Company is to discover readily visible, apparent or obvious Material Defects at the time of the inspection and assist the Client in evaluating the overall condition of the Property and provide an inspection report describing the Material Defects according to Standards of Practice and Code of Ethics of a Pennsylvania State compliant National Home Inspection Association.

Any of the conventions used in the report that are defined as other than a material defect are still considered important items that need repairs or further evaluation by a licensed, qualified and insured professional.

**Material Defect:** A Material Defect is defined as follows: A problem with a residential real property or any portion of it that would have a significant adverse impact on the value of the property or that involves an unreasonable risk to people on the property. The fact that a structural element, system or subsystem is near, at or beyond the end of its normal useful life is not, by itself, a Material Defect.

**NOTE:** All definitions listed below refer to the property or item listed as inspected on this report at the time of inspection

Acceptable	Functional with no obvious signs of defect.
Not Present	Item not present or not found.
Not Inspected	Item was unable to be inspected for safety reasons or due to lack of power, inaccessible, or disconnected at time of inspection.
Marginal	Item is not fully functional and requires repair or servicing.
Defective	Item needs immediate repair or replacement. It is unable to perform its intended function.

## General Information

### Property Information

**Property Address** 1336 W. 65th Street  
**City** Philadelphia **State** PA **Zip** 19126  
**Contact Name** Misha Cunningham  
**Phone** 609-238-4135 **Fax** misha4realestate@gmail.com

### Client Information

**Client Name** John Robinson  
**Client Address** N/A  
**City** N/A **State** N/A **Zip** N/A  
**Phone** 267-626-0787 **Fax** N/A  
**E-Mail** jrbnson@gmail.com

### Inspection Company

**Inspector Name** Curtis S. Niles  
**Company Name** Armored Home Inspections, LLC  
**Address** 7101 Wayne Ave.  
**City** Upper Darby **State** PA **Zip** 19082  
**Phone** 610-352-2212 **Fax** 866-203-0656  
**E-Mail** nilesent@msn.com  
**File Number** 051112CA  
**Amount Received** \$550.00

### Conditions

**Others Present** Buyer, Homeowner **Property Occupied** No



## General Information (Continued)

**Estimated Age** 70 years **Entrance Faces** North  
**Inspection Date** 05/11/2012  
**Start Time** 9:30 AM **End Time** 12:00 PM  
**Electric On** Yes  
**Gas/Oil On** Yes  
**Water On** Yes  
**Temperature** 63 degrees  
**Weather** Sunny **Soil Conditions** Dry  
**Space Below Grade** Basement  
**Building Type** Multi-family **Garage** None  
**Sewage Disposal** Public **How Verified** Visual Inspection  
**Water Source** Public **How Verified** Visual Inspection  
**Additions/Modifications** N/A  
**Permits Obtained** N/A **How Verified** N/A

## Lots and Grounds

### 1. Marginal

**Walks:** Concrete-

Uneven pavement may result in a hazard at front, pad leveling/replacement recommended. An estimate for repair or replacement by a qualified contractor is recommended.



### 2. Defective

**Steps/Stoops:** Concrete, Wood-

1. Railing missing at the three sets of front stairs. Railings are recommended when three or more risers are present in the stair construction.

2. Stair damage/deterioration noted at the front entry. Stair repairs recommended for occupant safety.

3. Damage wooden stair rise and run noted at the rear of the building. Stair repairs/replacement recommended.





## Lots and Grounds (Continued)

### 3. Defective

**Porch:** Concrete- 1.Damaged left end roof rake end and wood framing noted. Area repairs by a qualified contractor is advised.

2.Deferred wood trim and ceiling maintenance noted through out. Porch exterior maintenance and repairs recommended by qualified contractors.



### 4. Marginal

**Retaining Walls:** Stone-  
Stone retaining wall noted with mortar deterioration. Wall maintenance /repairs by a qualified masonry professional is advised.



### 5. Defective

**Vegetation:** Tree and shrubs-

1.Overgrown vegetation noted around the structure and vine growth upon the structure. Cutting back vegetation away from the building and removing the vine growth from the building is recommended.

2. Tree limbs close to the structure and may be causing damage to the roof or structure at the rear. Tree limb trimming away from the structure 5'-10' recommended.



### 6. Defective

**Basement Stairwell:** Concrete-

Deteriorated wooden door cover noted. Proper water tight basement walk out door installation is recommended.



### 7. Defective

**Grading:** Negative Slope-

Poor slope apparent at the structure's rear. Debris and overgrown vegetation hamper visibility to be clear on the grading.

Grading improvement around the home's foundation is recommended to improve drainage and minimize water penetration in the basement.



## Lots and Grounds (Continued)

### Grading: (continued)



### 8. Marginal

#### Fences: Chain Link-

The gate at the rear yard noted locked with chain but detached. Fencing repairs/maintenance advised.



## Exterior Surface and Components

### Front Exterior Surface

### 1. Marginal

#### Type: Brick, Stone-

1.Mortar loss evident in exterior porch wall. Pointing/wall maintenance to prevent further mortar loss and possible water infiltration is recommended.

2.Heavy peeling paint noted at the upper floor bay area. Scraping and painting recommended. The paint may contain lead. A contractor with certification in Lead Safe Work Practices is recommended.



### Left Side Exterior Surface

### 2. Marginal

#### Type: Brick, Stone-

1. Mortar loss evident in exterior wall. Pointing/wall maintenance to prevent further mortar loss and possible water infiltration is recommended.

2.Overgrown vegetation limited wall visibility. Rating reflects the visible wall area. Cutting back the vegetation away from the exterior wall is advised.





## Exterior Surface and Components (Continued)

### Rear Exterior Surface

#### 3. Marginal

**Type:** Brick, Stone-

1. Stress cracks and mortar/brick loss noted. Sealing/repairs recommended to prevent water infiltration.

2. Overgrown vegetation limited wall visibility. Rating reflects the visible wall area. Cutting back the vegetation away from the exterior wall is advised.



#### 4. Defective

**Trim:** Wood, Aluminum-

1. Wood trim at the front porch columns, wood beam cover, window trim, and entry door trim noted with significant peeling paint and deferred maintenance.

2. Left end of the porch with wood rot and significant damage. Area evaluation and a quote for repairs recommended.



#### 5. Defective

**Fascia:** Wood, Metal-

Peeling paint noted throughout the fascias. Fascia scraping and painting/maintenance recommended to prevent further deterioration.



#### 6. Defective

**Door Bell:** Hardwired- Units do not appear serviceable. Budgeting for door bell repairs advised.

#### 7. Marginal

**Entry Doors:** Wood and Glass-

Missing handle hardware and damaged mail slot noted with missing cover to prevent air loss. Handle and mail slot repair/replacement recommended.





## Exterior Surface and Components (Continued)

8. Marginal

**Windows:** Vinyl double hung, Vinyl Casements, Aluminum Double Hung- The wood framed units were observed in disrepair and will be in need of repairs/replacement. Replacement units noted were installed with the exterior not finished and trimmed with casing to prevent water intrusion or insect penetration. Window exterior finishing is recommended.



9. Marginal

**Window Screens:** Metal Mesh- Missing screens noted at some windows. Window screen replacements recommended.



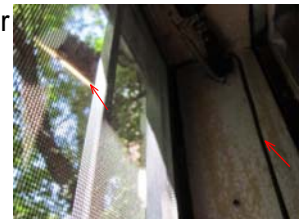
10. Defective

**Basement Windows:** Wood Hinge Units, Boarded- Only window screens were visible from the exterior. Deferred maintenance noted at the wood framed screens. Screen and trim maintenance to prevent wood decay is advised. Budgeting for window unit replacements advised.



11. Defective

**Exterior Lighting:** Surface Mounted- Unsafe and improper wiring noted for the rear flood lighting. Professional electrical corrections for outdoor lighting recommended.



12. Not Inspected

**Hose Bibs:** Faucet/Gate- Water supply was off to the dwelling. Therefore the faucet was only visually inspected. Older faucet noted. Budgeting for faucet replacement is advised.



13. Acceptable

**Gas Meter:** Basement



14. Acceptable

**Main Gas Valve:** Located at gas meter



## Roof

Due to the roof height exceeding the 32 foot ladder capacity, the main roof was not evaluated. Leaks evident on the top floor suggest roof repairs/replacement is needed. Obtaining a quote from a qualified roofer on replacement is recommended.

### Porch Roof Surface

1. **Method of Inspection:** Walked On roof

2. **Defective** **Material:** Rolled roof material-

Roof shows signs of deterioration, roof evaluation and estimate for repair/replacement recommended by a qualified roofer.



3. **Type:** Flat/low slope



4. **Approx Age:** 10+ years

### 5. Roof Water Control

6. **Marginal**

**Gutters:** Galvanized-

Gutters noted with deferred maintenance and in need of adjustments for proper drainage and in some areas replacements. Gutter repairs/replacements by qualified professionals is advised.



7. **Defective**

**Downspouts:** Galvanized-

Corroded and leaking rear downspout noted. Unit replacement recommended.



8. **Not Inspected** **Leader/Extension:** Underground-

Underground drains cannot be judged. Consider plumber evaluation as underground drains are not within the scope of this inspection. Rating reflects visible components. Checking underground drains for backing up during heavy rains advised.

## Roof (Continued)

### Leader/Extension: (continued)



### Left Side Roof Chimney

#### 9. Defective

#### Chimney: Brick-

1. Brick deterioration noted and apparent deteriorated mortar cap. Chimney professional evaluation and repairs advised.



#### 10. Marginal

#### Flue/Flue Cap: Clay -

1. Ground inspections of chimneys are limited. Rating reflects visible chimney areas. When possible consider a chimney inspection by a qualified professional.

2. A flue rain/snow cover is recommended to prevent water infiltration in basement or heating appliance vent corrosion.



3. One of the flues appear to be missing or capped off as it was not visible as the other flue is from the ground. It is very likely that the flue liner will need replacing and budgeting for this is recommended. Chimney sweep quote for re-lining the chimney flues is recommended.

#### 11. Not Inspected Chimney Flashing: Not visible-

Flashing not fully visible due to ground inspection. Roof certification by a qualified roofer is recommended.

## Electrical

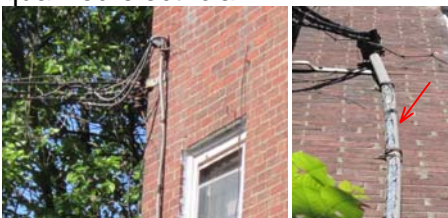
No sign of updated wiring was found within the living spaces of the dwellings. Though no knob and tube wiring was visible, the presence of knob and tube wiring in the home cannot be ruled out. Further evaluation of wiring is necessary to determine if such wiring exists in home.

#### 1. Service Size Amps: 200 Volts: 110-240 VAC

#### 2. Defective

#### Service: Aerial-

Frayed service wire covering with ground wire exposure visible, replacement recommended by a qualified electrician.





## Electrical (Continued)

3. Acceptable **120 VAC Branch Circuits:** Copper  
 4. Acceptable **240 VAC Branch Circuits:** Copper  
 5. Defective **Conductor Type:** Romex-  
 Overgrown vegetation limited visibility. Rating reflects the visible areas.



6. Not Present **Ground:** None found-  
 No ground conductors found to water line or ground rod. Electrician evaluation and installation to properly ground electrical system recommended for safety.  
 7. Marginal **Smoke Detectors:** Battery Operated-  
 Installation of smoke detectors in bedroom and on each floor in the Dwelling is recommended for safety. Checking for normal operation prior to settlement and annually is recommended.



### Basement Electric Panel

8. Acceptable **Manufacturer:** Seimens



9. **Max Capacity:** 125 Amps  
 10. Acceptable **Main Breaker Size:** 100 Amps-  
 The dead cover on the panel was not removed. Visual inspection only. The basement environment condition was a safety concern. Limiting exposure to the environment was a priority.  
 11. Acceptable **Breakers:** CU/AL

### Basement Electric Panel

12. Marginal **Manufacturer:** Unknown-  
 The dead covers of these panels were observed on the basement floor in apparent dried raw sewage. No attempts were made to recover information from the panel covers. Restoring the panel covers to the electrical panel boxes in good condition is advised.



13. **Max Capacity:** Not determinable  
 14. Marginal **Main Breaker Size:** 100 Amps-  
 No antioxidant visible, consider antioxidant application.  
 15. Acceptable **Breakers:** CU/AL

### Basement Electric Panel



## Electrical (Continued)

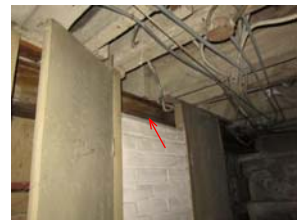
16. Acceptable **Manufacturer:** Unknown-  
1. Limited visibility due to excessive spider web cover. Not significant discrepancies were observed.  
  
2. The dead cover of this panel was observed on the basement floor in apparent dried raw sewage. No attempts were made to recover information from the panel cover. Restoring the panel cover to the electrical panel box in good condition is advised.
17. **Max Capacity:** N/A
18. Marginal **Main Breaker Size:** 100 Amps-  
No antioxidant visible, consider antioxidant application.
19. Acceptable **Breakers:** CU/AL



## Structure

Debris and raw sewage in the rear and front areas of the basement limited access and visibility. Rating reflects visible areas and components.

1. Acceptable **Structure Type:** Masonry  
2. Acceptable **Foundation:** Stone
3. Acceptable **Beams:** Steel I-Beam
4. Acceptable **Bearing Walls:** Foundation wall w/steel girders  
5. Acceptable **Joists/Trusses:** 3"x9"
6. Acceptable **Piers/Posts:** Brick column  
7. Acceptable **Floor/Slab:** Poured slab-  
8. Acceptable **Subfloor:** Tongue and groove wood





## Basement

Debris and raw sewage in the rear and front areas of the basement limited access and visibility. Rating reflects visible areas and components.

### Subsurface Basement

#### 1. Defective

**Walls:** Painted wallboard/plaster-

1. Deteriorated plaster walls observed in the rear 'finished' area of the basement. Wall repairs needed.

2. The mortar coated masonry walls observed appeared serviceable.



#### 2. Acceptable

**Floors:** Concrete



#### 3. Not Inspected

**Laundry Tub:** Vinyl-

Unit appeared unstable or unsecured to the wall and floor. Unit repairs suspected.



#### 4. Defective

**Doors:** Wood/glass-

1. The interior door noted within the basement was not tested. Visual inspection revealed no deficiencies.

2. The walk out hatch door is deteriorated and in need of replacement.



#### 5. Defective

**Windows:** Wood framed-

Wood framed windows were found boarded or in disrepair. Unit replacements advised.





## Basement (Continued)

6. Marginal **Electrical:** 110 VAC lighting circuit-  
Uncovered junction boxes were noted. Covers for junction boxes recommended for safety.



7. Not Inspected **Ventilation:** Windows-  
Secured units were noted or boarded to prevent unauthorized entry. Replacement of windows to permit adequate ventilation when needed is advised.

8. Defective **Moisture Location:** Present-  
1. Moisture at the front of the basement was observed. The uncovered waste piping with raw sewage in the area appears to have been the source of the moisture. However, storm water infiltration cannot be ruled out as a possible re-occurring condition.  
2. Stored items within the basement were also noted with significant mold growth. Removal of stored items in the basement and sewage clean up to prevent a health concern is advised.



9. Acceptable **Bsmt Stairs/Railings:** Concrete stairs- No railings are expected at basement hatch walk outs. However, a water tight door installation is recommended.



## Fireplace/Wood Stove

### 1st Floor Living room Fireplace

1. Acceptable **Fireplace Construction:** Masonry



2. **Type:** Wood burning





## Fireplace/Wood Stove (Continued)

3. Acceptable **Smoke Chamber: Masonry-**  
Smoke chamber visibility is limited without use of a camera to inspect the smoke chamber fully. This is beyond the scope of our inspection. A chimney sweep performs this type of inspection. Rating reflects visible smoke chamber area.



4. Not Inspected **Flue: Clay Tile-**  
Flue visibility is limited without use of a camera to inspect flue fully. This is beyond the scope of our inspection. A chimney sweep performs this type of inspection.

5. Acceptable **Damper: Metal**



6. Marginal **Hearth: Brick-**  
Some mortar deterioration/loss noted. Hearth maintenance recommended.



## Heating System

### Basement Heating System

1. Marginal **Heating System Operation:** Evaluation recommended-  
No maintenance tag with recent service record found. Heating specialist evaluation and regular annual maintenance recommended.



2. **Manufacturer:** Weil McClain  
3. **Model Number:** CGM-3 **Serial Number:** N/A



4. **Type:** Boiler **Capacity:** 70,000 BTUHR



## Heating System (Continued)

**5. Area Served:** 3rd Floor Only **Approximate Age:** 21 Years



**6. Fuel Type:** Natural gas

**7. Not Inspected Burners:** 4 Burner-

Inspection of heat exchanger is limited to burner area. Heating professional evaluation of heat exchanger is recommended. Rating reflects visible burner area.



**8. Unable to Inspect:** 50%

**9. Acceptable Distribution:** Pipes and radiators

**10. Acceptable Circulator:** Circulation pump

**11. Acceptable Draft Control:** Draft Hood

**12. Acceptable Flue Pipe:** Metal

**13. Marginal Controls:** Limit switch and TPR valve-

Missing TPR valve discharge pipe. Installation of discharge piping is recommended for safety.

**14. Acceptable Devices:** Expansion tank



**15. Defective**

**Thermostats:** Manual-

Cover detached from the unit. Unit evaluation and repairs as needed recommended.



### Basement Heating System

**16. Marginal Heating System Operation:** Evaluation recommended-

No maintenance tag with recent service record found. Heating specialist evaluation and regular annual maintenance recommended.

**17. Manufacturer:** Weil McClain



**18. Model Number:** CGM-3 **Serial Number:** N/A

**19. Type:** Boiler **Capacity:** 70,000 BTUHR

**20. Area Served:** 2nd Floor Only **Approximate Age:** 21



## Heating System (Continued)

21. **Fuel Type:** Natural gas

22. Acceptable **Burners:** 4 Burner



23. **Unable to Inspect:** 50%

24. Acceptable **Distribution:** Pipes and radiators

25. Acceptable **Circulator:** Circulation pump

26. Acceptable **Draft Control:** Draft Hood

27. Acceptable **Flue Pipe:** Metal

28. Marginal **Controls:** Limit switch and TPR valve-  
Missing TPR valve discharge pipe. Installation of discharge piping is recommended for safety.

29. Acceptable **Devices:** Expansion tank

30. Marginal **Thermostats:** Manual-  
Loosely mount at the wall. Properly securing advised.



### Basement Heating System

31. Marginal **Heating System Operation:** Evaluation recommended-

No maintenance tag with recent service record found. Heating specialist evaluation and regular annual maintenance recommended.

32. **Manufacturer:** Weil McClain



33. **Model Number:** CGM-3 **Serial Number:** N/A



34. **Type:** Boiler **Capacity:** 70,000 BTUHR

35. **Area Served:** 1st Floor Only **Approximate Age:** 21 Years

36. **Fuel Type:** Natural gas

37. Not Inspected **Burners:** 4 Burner- Inspection of heat exchanger is limited to burner area. Heating professional evaluation of heat exchanger is recommended. Rating reflects visible burner area.

38. **Unable to Inspect:** 50%

39. Acceptable **Distribution:** Pipes and radiators

40. Acceptable **Circulator:** Circulation pump



## Heating System (Continued)

- 41. Acceptable **Draft Control:** Draft Hood
- 42. Acceptable **Flue Pipe:** Metal
- 43. Marginal **Controls:** Limit switch and TPR valve- Missing TPR valve discharge pipe. Installation of discharge piping is recommended for safety.
- 44. Acceptable **Devices:** Expansion tank
- 45. Acceptable **Thermostats:** Manual

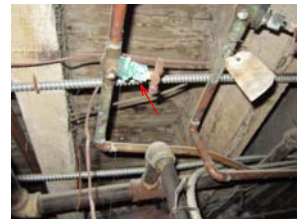


- 46. Defective **Fuel Tank:** Abandoned oil tank- Abandoned tank observed with some fuel apparently remaining in tank indicated by gauge. Professional fuel and tank removal recommended by a qualified professional.
- 47. **Tank Location:** Basement



## Plumbing

- 1. Acceptable **Service Line:** Copper
- 2. Acceptable **Main Water Shutoff:** Basement
- 3. Marginal **Water Lines:** Copper-  
Corrosion on valves/piping in basement noted. Evaluation/monitoring or replacement by a qualified plumber is recommended.
- 4. Defective **Drain Pipes:** Cast iron, PVC-  
1. Detached piping in the area of the laundry tub located in the rear region of the basement. Piping evaluation and repairs to prevent sewer gases from entering the basement is advised.  
2. Corroded cast iron piping at the floor level noted at the basement front. Piping evaluation and replacement as needed by a qualified plumber is recommended.





## Plumbing (Continued)

### Drain Pipes: (continued)



5. Defective

#### **Service Caps:** Missing-

Service cap at the front basement piping missing/removed. A problem with sewer drainage is apparent. Plumber evaluation and repairs advised.



6. Not Inspected **Vent Pipes:** Not visible-

No side walk vent observed. Some properties may never had these vents installed. The roof vent was not visible from the ground. Plumber evaluation/certification advised.

7. Acceptable

#### **Gas Service Lines:** Steel

### Basement Water Heater

8. Defective

#### **Water Heater Operation:** Not functional at time of inspection-

Water heater appears to be at the end of it's serviceable life. Budgeting for replacement recommended.



9. **Manufacturer:** Mor Flo

10. **Model Number:** GVF90-433S **Serial Number:** 9118101884



11. **Type:** Natural gas **Capacity:** 40 Gal

12. **Approximate Age:** 21+- Years **Area Served:** 3rd Floor

13. Marginal

#### **Flue Pipe:** Metal-

Corrosion/rust noted at the unit draft hood. Vent replacement recommended.



14. Marginal

#### **TPRV and Drain Tube:** Missing-

Missing drain tube. A lack of a TPR discharge pipe is a safety concern. Installing one is recommended.

### Basement Water Heater

15. Marginal

#### **Water Heater Operation:** Functional at time of inspection-

Gas drip leg missing. Installing one by a qualified plumber advised.



## Plumbing (Continued)

16. **Manufacturer:** Whirlpool



17. **Model Number:** BFG1F4040SNOV **Serial Number:** 0901T412241



18. **Type:** Natural gas **Capacity:** 40 Gal

19. **Approximate Age:** 4+- years **Area Served:** 2nd Floor Unit

20. **Acceptable** **Flue Pipe:** Metal

21. **Marginal** **TPRV and Drain Tube:** PVC-

CPVC piping is recommended in lieu of PVC as PVC does not meet the temperature/pressure rating requirements for the TPR discharge piping.

### Basement Water Heater

22. **Defective**

**Water Heater Operation:** Not functional at time of inspection-

Water heater appears to be at the end of it's serviceable life. Budgeting for replacement recommended.



23. **Manufacturer:** Mor Flo

24. **Model Number:** GVF90-433S **Serial Number:** 9118101911



25. **Type:** Natural gas **Capacity:** 40 Gal

26. **Approximate Age:** 21+- Years **Area Served:** 1st Floor Unit

27. **Acceptable** **Flue Pipe:** Metal

28. **Marginal** **TPRV and Drain Tube:** Missing-

Missing drain tube. A lack of a TPR discharge pipe is a safety concern. Installing one is recommended.



## Bathroom

### 3rd Floor Bathroom

1. Acceptable
2. Marginal

**Ceiling:** Painted wallboard/plaster

**Walls:** Painted wallboard, Paneling-

Peeling paint noted at the window trim noted. Scraping and painting recommended. Paint may contain lead. Protection against ingestion/inhalation advised.



3. Marginal

**Floor:** Vinyl floor covering-

Door entry area vinyl lifted up and posing a trip hazard. A molding strip to hold the vinyl sheet material down is recommended.



4. Marginal

**Doors:** Wood paneled door-

Door stopper recommended to prevent wall damage.



5. Marginal

**Windows:** Aluminum double hung-

Peeling paint observed at the window sill. Scraping and painting recommended. Paint may contain lead. Protection against ingestion/inhalation advised.



6. Marginal

**Electrical:** 110 VAC lighting circuit-

Receptacle did not respond to test. Replacement with a GFCI receptacle recommended, by a qualified electrician.





## Bathroom (Continued)

7. Marginal

**Counter/Cabinet:** Molded bowl and cabinet-  
Counter top/sink not properly mounted/secured to the cabinet, securing recommended by a qualified professional.



8. Marginal

**Sink/Basin:** Molded single bowl-  
Sink not properly secured to cabinet. Securing sink to base and wall advised.

9. Defective

**Faucets/Traps:** Brand unknown-  
Leak in drain line observed. Plumber repair is recommended.



10. Marginal

**Tub/Surround:** Fiberglass tub and ceramic tile surround-  
1. Shower head connection leaks when in use, plumber evaluation and repair advised.  
2. Diverter valve leaks when in use, plumber evaluation and repair advised.  
3. Stopper not functional. Plumber evaluation and repair recommended.



11. Acceptable

**Toilets:** Mansfield



12. Acceptable

**HVAC Source:** Radiator

13. Acceptable

**Ventilation:** Window

### 2nd Floor Bathroom

14. Acceptable

**Ceiling:** Painted wallboard/plaster

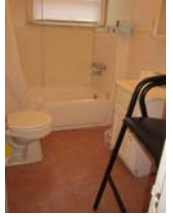
15. Acceptable

**Walls:** Painted wallboard



## Bathroom (Continued)

16. Acceptable **Floor:** Ceramic tile



17. Marginal **Doors:** Wood paneled door-  
Door rubs in jamb. Recommend adjustment to open and close freely.



18. Acceptable **Windows:** Aluminum double hung



19. Acceptable **Electrical:** 110 VAC lighting circuit



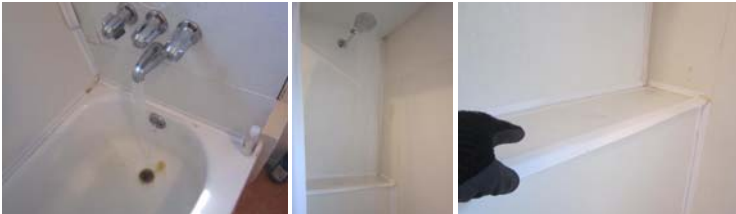
20. Acceptable **Counter/Cabinet:** Molded bowl and cabinet

21. Acceptable **Sink/Basin:** Molded single bowl

22. Acceptable **Faucets/Traps:** Brand unknown



23. Marginal **Tub/Surround:** Porcelain/cast iron tub and plastic surround-  
Ledge in the shower area is subject to leaks. Consider an alternative to the ledge to prevent leaks advised.





## Bathroom (Continued)

24. Marginal

**Toilets:** Mansfield-

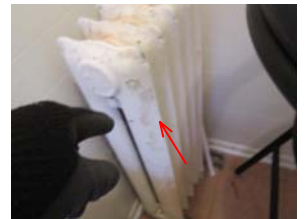
The toilet is loose at the floor, plumber evaluation and repair advised. Wax ring installation may also be necessary.



25. Marginal

**HVAC Source:** Radiator-

Peeling paint noted. Recommended scraping and painting. Paint may contain lead. Lead testing prior to disturbing recommended.



26. Acceptable

**Ventilation:** Window

**1st Floor Bathroom**

27. Marginal

**Closet:** Walk In- Peeling paint/wallpaper noted in closet. Scraping and painting recommended. Paint may contain lead. Protection against ingestion/inhalation advised.



28. Marginal

**Ceiling:** Painted wallboard/plaster-

Evidence of past or present water leakage, evaluation/repairs and cosmetic repairs recommended.



29. Acceptable

**Walls:** Painted wallboard

30. Marginal

**Floor:** Ceramic tile-

Movement in the tile floor indicate poor tile adhesion and limited service life remaining. Budgeting for floor repairs recommended.





## Bathroom (Continued)

31. Marginal

**Doors:** Hollow core-

1. Loose hardware observed, securing hardware recommended.
2. Door rubs at floor. Recommend door adjustment to prevent rubbing at floor.



32. Acceptable

**Windows:** Vinyl double hung

33. Acceptable

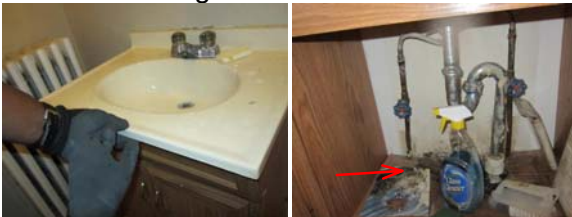
**Electrical:** 110 VAC lighting circuit-  
Reversed hot/neutral, wiring correction by a qualified electrician is recommended.



34. Defective

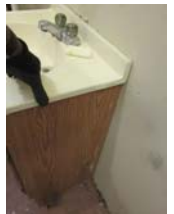
**Counter/Cabinet:** Molded bowl and cabinet-

1. Counter top/sink not properly mounted to cabinet, securing recommended by a qualified professional.
2. Water damage noted at the base of the cabinet. Cabinet/vanity replacement recommended.



35. Marginal

**Sink/Basin:** Molded single bowl-  
Securing sink to base cabinet and wall advised.



36. Defective

**Faucets/Traps:** Brand unknown-  
Deteriorated drain noted. Drain line replacement needed.





## Bathroom (Continued)

37. Acceptable **Tub/Surround:** Fiberglass tub and ceramic tile surround



38. Marginal **Toilets:** Brand unknown-  
The toilet is loose at the floor, plumber evaluation and repair advised. Wax ring installation may also be necessary.



39. Acceptable **HVAC Source:** Radiator



40. Acceptable **Ventilation:** Window

## Kitchen

### 3rd Floor Kitchen

1. Acceptable **Cooking Appliances:** Hotpoint



2. Acceptable **Ventilator:** Nu-tone



3. Acceptable **Refrigerator:** Ewave





## Kitchen (Continued)

- 4. Acceptable
- 5. Acceptable
- 6. Marginal

**Closet:** Standard, Pantry

**Sink:** Stainless Steel

**Electrical:** 110 VAC lighting circuit-

A GFCI receptacle/circuit is recommended at receptacles within 6 feet of a water source.



- 7. Marginal

**Plumbing/Fixtures:** Brand unknown-

Loose faucet noted. Securing the faucet is recommended.



- 8. Acceptable
- 9. Marginal

**Counter Tops:** Laminate

**Cabinets:** Laminate-

Knobs/handles missing, consider handles/knobs for cabinet doors/drawers.



- 10. Marginal

**Ceiling:** Painted wallboard/plaster-

Loose or peeling paint/paper evident, scraping and painting recommended. Roof leak should be suspected and investigated.



- 11. Acceptable

**Walls:** Painted wallboard



- 12. Marginal

**Floor:** Vinyl floor covering- Loose or unsecured vinyl flooring noted at the kitchen entry. Flooring evaluation and securing to prevent a trip hazard recommended.





## Kitchen (Continued)

13. Marginal

**Windows:** Aluminum double hung-  
Unit couldn't lock when tested. Lock adjustment or window adjustment recommended.



14. Marginal

**HVAC Source:** Radiator- Peeling paint. Recommended scraping and painting.

**2nd Floor Kitchen**

15. Not Present

**Cooking Appliances:** None- Proper plug for the gas line is advised until ready to install a stove is recommended.



16. Not Inspected

**Refrigerator:** HotPoint-  
Unit noted with debris. Clearing debris advised.

17. Marginal

**Sink:** Stainless Steel-  
Loose faucet noted. Properly securing the faucet advised.



18. Marginal

**Electrical:** 110 VAC lighting circuit-  
A GFCI receptacle/circuit is recommended at receptacles within 6 feet of a water source.



19. Marginal

**Plumbing/Fixtures:** Brand unknown-  
Hot and cold operation reversed, recommended faucet line correction by a qualified plumber

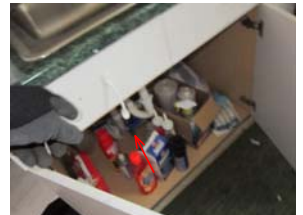


20. Acceptable

**Counter Tops:** Laminate

21. Marginal

**Cabinets:** Laminate-  
Loosened hardware noted. Properly re-securing the hardware is recommended.





## Kitchen (Continued)

22. Acceptable

**Ceiling:** Painted wallboard/plaster

23. Acceptable

**Walls:** Painted wallboard



24. Acceptable

**Floor:** Vinyl floor covering

25. Marginal

**Windows:** Wood double hung-  
Deteriorated glazing noted. Window repairs/maintenance recommended to prevent further deterioration and potential air leaks.



26. Acceptable

**HVAC Source:** Radiator

**1st Floor Kitchen**

27. Marginal

**Cooking Appliances:** Tappan-  
Only one burner was operational when tested. Stove evaluation and repairs recommended.



28. Not Present

**Ventilator:** None-  
No ventilator installed. Ventilation device installation is recommended.

29. Acceptable

**Refrigerator:** RCA

30. Acceptable

**Sink:** Dual bowl stainless

31. Acceptable

**Electrical:** 110 VAC lighting circuit

32. Acceptable

**Plumbing/Fixtures:** Brand unknown



33. Acceptable

**Counter Tops:** Laminate

34. Defective

**Cabinets:** Wood-  
Damaged cabinetry noted. Budgeting for new cabinetry is advised.





## Kitchen (Continued)

35. Acceptable **Ceiling:** Suspended ceiling



36. Marginal **Closets:** Pantry, Standard-  
Doors do not catch in the jamb. Door hardware adjustments recommended.

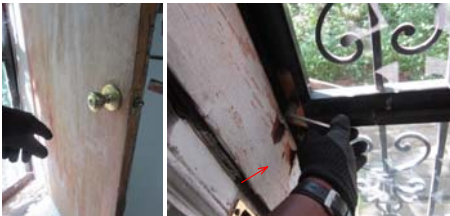


37. Marginal **Walls:** Painted wallboard-  
Proper plug for the unused gas line is advised.



38. Acceptable **Floor:** Vinyl floor covering  
39. Marginal **Doors:** Solid wood-  
1. Rear entry door is in disrepair, repairs recommended to prolong door service life.

2. Peeling paint noted at the door jamb. This paint may contain lead. A lead test before disturbing advised.



40. Marginal **Windows:** Vinyl double hung-  
1. Unit couldn't open at rear wall when tested. Unit appears painted shut. Evaluation/repair or window adjustment recommended.

2. Screens missing at the left wall. Replacement/re-installation advised.





## Kitchen (Continued)

41. Acceptable HVAC Source: Radiator

## Bedroom

### 3rd Floor Front Bedroom

1. Marginal

**Closet:** Standard-

1. Door can not close in jamb, repair/adjustment recommended.
2. Peeling paint noted in closet. Scraping and painting recommended. Paint may contain lead. Protection against ingestion/inhalation advised.



2. Marginal

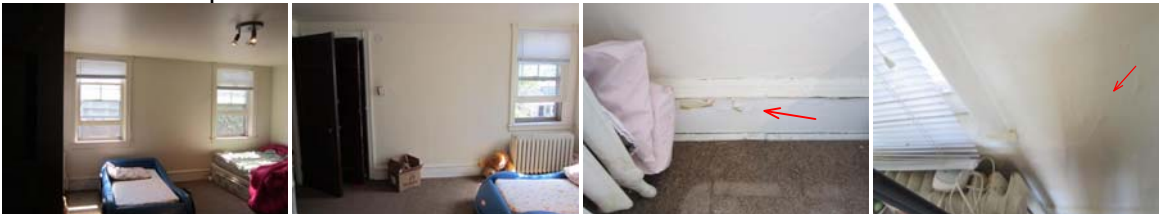
**Ceiling:** Painted wallboard/plaster- Evidence of past or present water leakage, roof evaluation/repairs and cosmetic repairs recommended.



3. Marginal

**Walls:** Painted wallboard-

Evidence of past or present water penetration at the rear left wall. Exterior water intrusion control and cosmetic repairs recommended.



4. Marginal

**Floor:** Carpet-

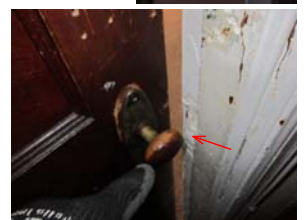
Soiled carpet noted. Cleaning carpet recommended.



5. Marginal

**Doors:** Wood paneled door-

Loose hardware, securing hardware recommended.



## Bedroom (Continued)

6. Defective

**Windows:** Vinyl slider-

Windows couldn't lock and deteriorated glazing observed. Budgeting or widow repairs or replacement recommended.



7. Marginal

**Electrical:** 110 VAC lighting circuit-

1.Damaged receptacle at the rear wall noted. Unit replacement for safety advised.

2. Older two prong receptacles noted, consider electrical upgrades.



8. Marginal

**HVAC Source:** Radiator-

Peeling paint noted. Recommended scraping and painting. Paint may contain lead. Lead testing prior to disturbing recommended.

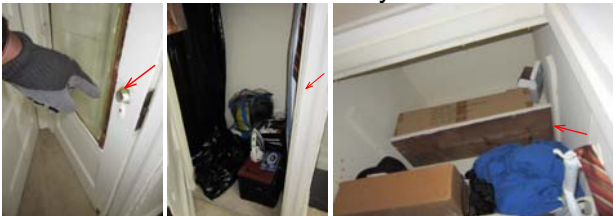
## 2nd Floor Front Bedroom

9. Marginal

**Closet:** Standard-

1.Door hardware missing, replacement recommended.

2.Stored items limited visibility.



10. Marginal

**Ceiling:** Painted wallboard/plaster-

1.Cut out opening in the ceiling noted. Ceiling patching and repairs recommended.

2. Evidence of past or present water leakage at the front, roof evaluation/repairs and cosmetic repairs recommended.





## Bedroom (Continued)

11. Acceptable

**Walls:** Painted wallboard



12. Marginal

**Floor:** Carpet-

1. Furnishings left behind by the tenants prevent full floor visibility. Comments reflect the visible areas of floor.

2. Soiled carpet areas noted. Carpet replacement needed.



13. Marginal

**Doors:** Wood paneled door-

Door rubs at floor. Recommend door adjustment to prevent rubbing at floor.



14. Marginal

**Windows:** Vinyl double hung-

Unit couldn't lock when tested. Lock adjustment or window adjustment recommended.



15. Defective

**Electrical:** 110 VAC lighting circuit-

No power at the rear wall receptacle, electrician evaluation/correction recommended.



16. Acceptable

**HVAC Source:** Radiator



### 1st Floor Bedroom

17. Marginal

**Closet:** Walk In-

Door rubs at floor adjustment/trimming recommended.



## Bedroom (Continued)

### Closet: (continued)



- 18. Acceptable
- 19. Marginal

**Ceiling:** Painted wallboard/plaster

**Walls:** Painted wallboard-

Evidence of previous leaks at the entry opening and peeling paint noted at the wood trim. Scraping and painting recommended. Paint may contain lead. Protection against ingestion/inhalation advised.



- 20. Marginal

**Floor:** Carpet-

Soiled carpet noted. Carpet cleaning or replacement recommended.

- 21. Acceptable

**Windows:** Aluminum double hung

- 22. Marginal

**Electrical:** 110 VAC lighting circuit-

Cover plates missing for receptacle noted. Cover replacements recommended for safety.



- 23. Acceptable

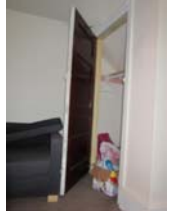
**HVAC Source:** Radiator



## Living Space

### 3rd Floor Living Room Living Space

1. Acceptable **Closet:** Standard

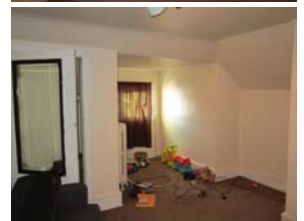


2. Acceptable **Ceiling:** Painted wallboard/plaster

3. Acceptable **Walls:** Painted wallboard



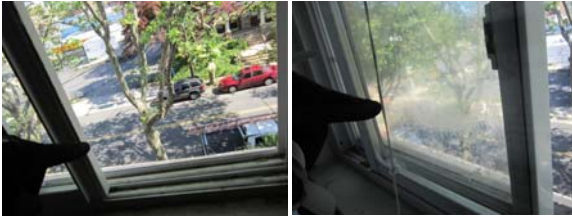
4. Acceptable **Floor:** Carpet



5. Defective **Windows:** Vinyl slider-

1. Screens missing. Replacement/re-installation prior to settlement advised.

2. Moisture between panes of glass indicate defective thermal seal. Window repairs/replacement recommended.



6. Acceptable **Electrical:** 110 VAC lighting circuit



7. Acceptable **HVAC Source:** Radiator

### 3rd Floor Unit Hallway Living Space

8. Marginal **Closet:** Walk In-

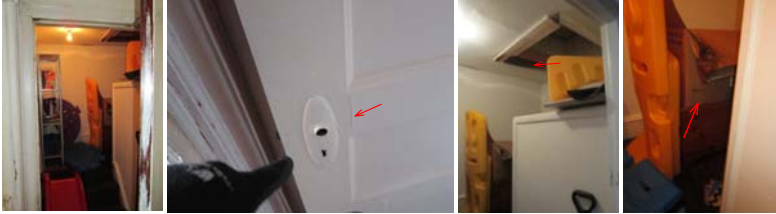
1. Door hardware missing, replacement recommended.

2. Leak at the ceiling hatch noted. This is indicating a roof leak. Roof evaluation and repairs advised.



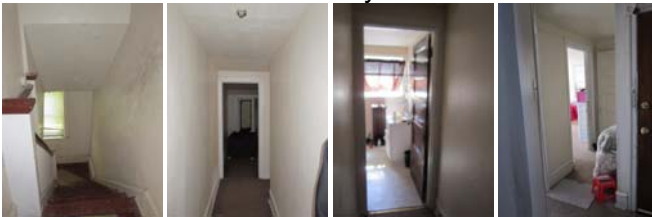
## Living Space (Continued)

### Closet: (continued)



- 9. Acceptable
- 10. Acceptable

**Ceiling:** Painted wallboard/plaster  
**Walls:** Painted wallboard/Plywood

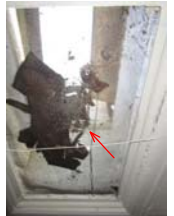


- 11. Acceptable
- 12. Acceptable

**Floor:** Carpet  
**Doors:** Solid wood

- 13. Marginal

**Windows:** Skylight-  
Screen with debris noted. Clearing of the debris to facilitate ventilation advised.



- 14. Marginal

**Electrical:** 110 VAC lighting circuit-  
Bulb missing from the fixture. Bulb replacement advised.



### 3rd Floor Hall and Stairs Living Space

- 15. Defective

**Ceiling:** Painted wallboard/plaster-  
Water damaged ceiling noted. Ceiling repair/replacement needed.





## Living Space (Continued)

16. Defective

**Walls:** Painted wallboard-

Water damaged wall area noted. Wall repairs recommended.

17. Acceptable

**Floor:** Hardwood

18. Marginal

**Interior Stairs and Railing:** Carpeted stairs and wood railing- Missing railing observed. Railing installation recommended for safety.



19. Marginal

**Windows:** Aluminum double hung-

1. Damaged tilt lock noted. This may allow the window to fall or dislodge from the sash when in operation. Window repairs recommended.

2. Screens missing. Replacement/re-installation prior to settlement advised.



20. Acceptable

**Electrical:** 110 VAC receptacles and lighting circuits

**2nd Floor Hallway and Stairs Living Space**

21. Acceptable

**Closet:** Standard-

Stored items prevent full visibility. Rating reflects visible area.

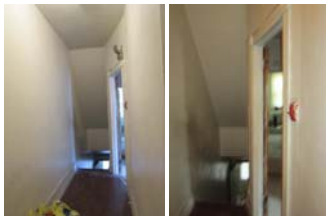


22. Acceptable

**Ceiling:** Painted wallboard/plaster

23. Acceptable

**Walls:** Painted wallboard



24. Acceptable

**Floor:** Hardwood

25. Marginal

**Interior Stairs and Railing:** Carpeted stairs and wood railing- Missing railing observed. Railing installation recommended for safety.





## Living Space (Continued)

26. Marginal

**Doors:** Hollow core, six panel, colonial door-  
An exterior grade door is recommended upon entry to the unit.



27. Acceptable

**Electrical:** 110 VAC lighting circuit

**2nd Floor Unit Hallway Living Space**

28. Acceptable

**Ceiling:** Painted wallboard/plaster

29. Acceptable

**Walls:** Painted wallboard



30. Marginal

**Floor:** Carpet-

1. Soiled carpet noted. Cleaning carpet recommended.

2. Loose carpet, carpet stretching to prevent a trip hazard recommended.

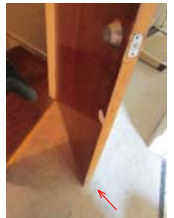


31. Marginal

**Doors:** Solid wood-

1. Door rubs at floor. Recommend door adjustment to prevent rubbing at floor.

2. Door handle hardware missing, replacement recommended.



32. Acceptable

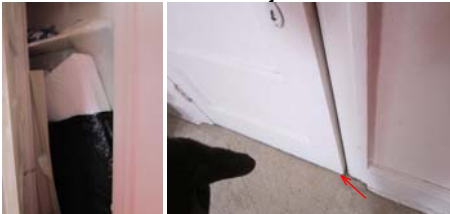
**Electrical:** 110 VAC lighting circuit

**2nd Floor Living Room Living Space**

33. Marginal

**Closet:** Standard-

Door rubs at floor adjustment/trimming recommended.



34. Acceptable

**Ceiling:** Painted wallboard/plaster



## Living Space (Continued)

35. Marginal

**Walls:** Painted wallboard/plaster-

Evidence of past or present water penetration, exterior repairs/maintenance and cosmetic repairs recommended.



36. Marginal

**Floor:** Carpet- Soiled carpet noted. Cleaning carpet recommended.



37. Acceptable

**Doors:** Wood paneled door

38. Marginal

**Windows:** Wood double hung, Aluminum double hung-

1. Missing/removed sash at the unit located at the left front region. Window repair/replacement needed.

2. Units at the left/right walls couldn't open when tested. Unit appears painted shut. Evaluation/repair or window adjustment recommended.

3. Screen damage/missing noted at the left/right wall units. Repair/replacement recommended.

4. Evidence of water/moisture at the left rear unit. Water penetration control needed.



39. Acceptable

**Electrical:** 110 VAC receptacles and lighting circuits-

Rating reflects accessible receptacles and switch. Furnishings prevent access to every receptacle.



## Living Space (Continued)

40. Acceptable **HVAC Source:** Radiator

**1st Floor Living Room Living Space**

41. Marginal **Ceiling:** Painted wallboard/plaster-

Evidence of past or present water leakage left rear region, evaluation/repairs and cosmetic repairs recommended.

42. Acceptable **Walls:** Painted wallboard



43. Marginal **Floor:** Carpet-

1. Loose carpet, carpet stretching to prevent a trip hazard recommended.

2. Soiled carpet noted. Carpet cleaning or replacement needed.



44. Acceptable **Doors:** Metal



45. Marginal **Windows:** Glassblock, Stationary, Aluminum double hung-

1. Peeling paint observed at the window left wall. Scraping and painting recommended. Consider a lead testing.

2. The front unit was not observed from the interior due to furniture covering.



46. Marginal **Electrical:** 110 VAC lighting circuit-

Cover plates and knob for lighting missing. Cover plate and knob replacement recommended.



47. Acceptable **HVAC Source:** Radiator



**1st Floor Entry Common Hall Living Space**

48. Acceptable **Ceiling:** Painted wallboard/plaster

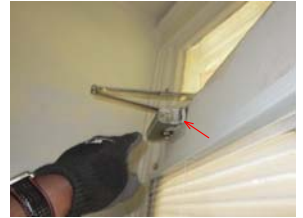


## Living Space (Continued)

49. Acceptable **Walls:** Painted wallboard



50. Acceptable **Floor:** Ceramic tile  
51. Marginal **Doors:** Wood/glass-  
Loosened auto door closer noted. Re-securing recommended.



## Final Comments

Due to the nature of repairs needed in the dwelling, cost range estimates cannot be provided. You are encouraged to seek quotes from qualified contractors for estimates of work needed.



## Not Inspected Summary

### Exterior Surface and Components

**1. Hose Bibs: Faucet/Gate-**

Water supply was off to the dwelling. Therefore the faucet was only visually inspected. Older faucet noted. Budgeting for faucet replacement is advised.



### Roof

**2. Leader/Extension: Underground-**

Underground drains cannot be judged. Consider plumber evaluation as underground drains are not within the scope of this inspection. Rating reflects visible components. Checking underground drains for backing up during heavy rains advised.



**3. Left Side Roof Chimney Chimney Flashing: Not visible-**

Flashing not fully visible due to ground inspection. Roof certification by a qualified roofer is recommended.

### Basement

**4. Subsurface Basement Laundry Tub: Vinyl-**

Unit appeared unstable or unsecured to the wall and floor. Unit repairs suspected.



**5. Subsurface Basement Ventilation: Windows-**

Secured units were noted or boarded to prevent unauthorized entry. Replacement of windows to permit adequate ventilation when needed is advised.

### Fireplace/Wood Stove

**6. 1st Floor Living room Fireplace Flue: Clay Tile-**

Flue visibility is limited without use of a camera to inspect flue fully. This is beyond the scope of our inspection. A chimney sweep performs this type of inspection.



## Not Inspected Summary (Continued)

### Heating System

**7. Basement Heating System Burners: 4 Burner-**

Inspection of heat exchanger is limited to burner area. Heating professional evaluation of heat exchanger is recommended. Rating reflects visible burner area.



**8. Basement Heating System Burners: 4 Burner-** Inspection of heat exchanger is limited to burner area. Heating professional evaluation of heat exchanger is recommended. Rating reflects visible burner area.

### Plumbing

**9. Vent Pipes:** Not visible-

No side walk vent observed. Some properties may never had these vents installed. The roof vent was not visible from the ground. Plumber evaluation/certification advised.

### Kitchen

**10. 2nd Floor Kitchen Refrigerator:** HotPoint-

Unit noted with debris. Clearing debris advised.



## Marginal Summary

This summary is not the entire report. The complete report may include additional information of concern to the client. It is recommended that the client read the complete report.

## Lots and Grounds

### 1. Walks: Concrete-

Uneven pavement may result in a hazard at front, pad leveling/replacement recommended. An estimate for repair or replacement by a qualified contractor is recommended.



### 2. Retaining Walls: Stone-

Stone retaining wall noted with mortar deterioration. Wall maintenance /repairs by a qualified masonry professional is advised.



### 3. Fences: Chain Link-

The gate at the rear yard noted locked with chain but detached. Fencing repairs/maintenance advised.



## Exterior Surface and Components

### 4. Front Exterior Surface Type: Brick, Stone-

1.Mortar loss evident in exterior porch wall. Pointing/wall maintenance to prevent further mortar loss and possible water infiltration is recommended.

2.Heavy peeling paint noted at the upper floor bay area. Scraping and painting recommended. The paint may contain lead. A contractor with certification in Lead Safe Work Practices is recommended.



### 5. Left Side Exterior Surface Type: Brick, Stone-

1. Mortar loss evident in exterior wall. Pointing/wall maintenance to prevent further mortar loss and possible water infiltration is recommended.

2.Overgrown vegetation limited wall visibility. Rating reflects the visible wall area. Cutting back the vegetation



## Marginal Summary (Continued)

### Type: (continued)

away from the exterior wall is advised.



### 6. Rear Exterior Surface Type: Brick, Stone-

1. Stress cracks and mortar/brick loss noted. Sealing/repairs recommended to prevent water infiltration.

2. Overgrown vegetation limited wall visibility. Rating reflects the visible wall area. Cutting back the vegetation away from the exterior wall is advised.



### 7. Entry Doors: Wood and Glass-

Missing handle hardware and damaged mail slot noted with missing cover to prevent air loss. Handle and mail slot repair/replacement recommended.



### 8. Windows: Vinyl double hung, Vinyl Casements, Aluminum Double Hung- The wood framed units were observed in disrepair and will be in need of repairs/replacement. Replacement units noted were installed with the exterior not finished and trimmed with casing to prevent water intrusion or insect penetration. Window exterior finishing is recommended.



### 9. Window Screens: Metal Mesh-

Missing screens noted at some windows. Window screen replacements recommended.



## Roof

### 10. Gutters: Galvanized-

Gutters noted with deferred maintenance and in need of adjustments for proper drainage and in some areas replacements. Gutter repairs/replacements by qualified professionals is advised.





## Marginal Summary (Continued)

### 11. Left Side Roof Chimney Flue/Flue Cap: Clay -

1. Ground inspections of chimneys are limited. Rating reflects visible chimney areas. When possible consider a chimney inspection by a qualified professional.

2. A flue rain/snow cover is recommended to prevent water infiltration in basement or heating appliance vent corrosion.

3. One of the flues appear to be missing or capped off as it was not visible as the other flue is from the ground. It is very likely that the flue liner will need replacing and budgeting for this is recommended. Chimney sweep quote for re-lining the chimney flues is recommended.



## Electrical

### 12. Smoke Detectors: Battery Operated-

Installation of smoke detectors in bedroom and on each floor in the Dwelling is recommended for safety. Checking for normal operation prior to settlement and annually is recommended.



### 13. Basement Electric Panel Manufacturer: Unknown-

The dead covers of these panels were observed on the basement floor in apparent dried raw sewage. No attempts were made to recover information from the panel covers. Restoring the panel covers to the electrical panel boxes in good condition is advised.



### 14. Basement Electric Panel Main Breaker Size: 100 Amps-

No antioxidant visible, consider antioxidant application.

### 15. Basement Electric Panel Main Breaker Size: 100 Amps-

No antioxidant visible, consider antioxidant application.

## Basement

### 16. Subsurface Basement Electrical: 110 VAC lighting circuit-

Uncovered junction boxes were noted. Covers for junction boxes recommended for safety.



## Fireplace/Wood Stove

### 17. 1st Floor Living room Fireplace Hearth: Brick-

Some mortar deterioration/loss noted. Hearth maintenance recommended.





## Marginal Summary (Continued)

### Heating System

- 18. Basement Heating System Heating System Operation:** Evaluation recommended- No maintenance tag with recent service record found. Heating specialist evaluation and regular annual maintenance recommended.



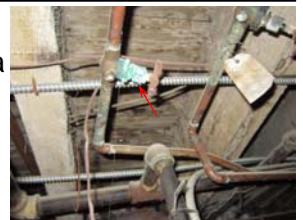
- 19. Basement Heating System Controls:** Limit switch and TPR valve- Missing TPR valve discharge pipe. Installation of discharge piping is recommended for safety.
- 20. Basement Heating System Heating System Operation:** Evaluation recommended- No maintenance tag with recent service record found. Heating specialist evaluation and regular annual maintenance recommended.
- 21. Basement Heating System Controls:** Limit switch and TPR valve- Missing TPR valve discharge pipe. Installation of discharge piping is recommended for safety.
- 22. Basement Heating System Thermostats:** Manual- Loosely mount at the wall. Properly securing advised.



- 23. Basement Heating System Heating System Operation:** Evaluation recommended- No maintenance tag with recent service record found. Heating specialist evaluation and regular annual maintenance recommended.
- 24. Basement Heating System Controls:** Limit switch and TPR valve- Missing TPR valve discharge pipe. Installation of discharge piping is recommended for safety.

### Plumbing

- 25. Water Lines: Copper-** Corrosion on valves/piping in basement noted. Evaluation/monitoring or replacement by a qualified plumber is recommended.



- 26. Basement Water Heater Flue Pipe: Metal-** Corrosion/rust noted at the unit draft hood. Vent replacement recommended.



- 27. Basement Water Heater TPRV and Drain Tube:** Missing- Missing drain tube. A lack of a TPR discharge pipe is a safety concern. Installing one is recommended.
- 28. Basement Water Heater Water Heater Operation:** Functional at time of inspection- Gas drip leg missing. Installing one by a qualified plumber advised.
- 29. Basement Water Heater TPRV and Drain Tube:** PVC- CPVC piping is recommended in lieu of PVC as PVC does not meet the temperature/pressure rating requirements for the TPR discharge piping.



## Marginal Summary (Continued)

- 30. Basement Water Heater TPRV and Drain Tube:** Missing-  
Missing drain tube. A lack of a TPR discharge pipe is a safety concern. Installing one is recommended.

### Bathroom

- 31. 3rd Floor Bathroom Walls:** Painted wallboard, Paneling-  
Peeling paint noted at the window trim noted. Scraping and painting recommended. Paint may contain lead.  
Protection against ingestion/inhalation advised.



- 32. 3rd Floor Bathroom Floor:** Vinyl floor covering-  
Door entry area vinyl lifted up and posing a trip hazard. A molding strip to hold the vinyl sheet material down is recommended.



- 33. 3rd Floor Bathroom Doors:** Wood paneled door-  
Door stopper recommended to prevent wall damage.



- 34. 3rd Floor Bathroom Windows:** Aluminum double hung-  
Peeling paint observed at the window sill. Scraping and painting recommended. Paint may contain lead.  
Protection against ingestion/inhalation advised.



- 35. 3rd Floor Bathroom Electrical:** 110 VAC lighting circuit-  
Receptacle did not respond to test. Replacement with a GFCI receptacle recommended, by a qualified electrician.





## Marginal Summary (Continued)

- 36. 3rd Floor Bathroom Counter/Cabinet:** Molded bowl and cabinet-  
Counter top/sink not properly mounted/secured to the cabinet, securing recommended by a qualified professional.



- 37. 3rd Floor Bathroom Sink/Basin:** Molded single bowl-  
Sink not properly secured to cabinet. Securing sink to base and wall advised.
- 38. 3rd Floor Bathroom Tub/Surround:** Fiberglass tub and ceramic tile surround-
1. Shower head connection leaks when in use, plumber evaluation and repair advised.
  2. Diverter valve leaks when in use, plumber evaluation and repair advised.
  3. Stopper not functional. Plumber evaluation and repair recommended.



- 39. 2nd Floor Bathroom Doors:** Wood paneled door-  
Door rubs in jamb. Recommend adjustment to open and close freely.



- 40. 2nd Floor Bathroom Tub/Surround:** Porcelain/cast iron tub and plastic surround-  
Ledge in the shower area is subject to leaks. Consider an alternative to the ledge to prevent leaks advised.



- 41. 2nd Floor Bathroom Toilets:** Mansfield-  
The toilet is loose at the floor, plumber evaluation and repair advised. Wax ring installation may also be necessary.





## Marginal Summary (Continued)

- 42. 2nd Floor Bathroom HVAC Source:** Radiator-  
Peeling paint noted. Recommended scraping and painting. Paint may contain lead. Lead testing prior to disturbing recommended.



- 43. 1st Floor Bathroom Closet:** Walk In- Peeling paint/wallpaper noted in closet. Scraping and painting recommended. Paint may contain lead. Protection against ingestion/inhalation advised.



- 44. 1st Floor Bathroom Ceiling:** Painted wallboard/plaster-  
Evidence of past or present water leakage, evaluation/repairs and cosmetic repairs recommended.



- 45. 1st Floor Bathroom Floor:** Ceramic tile-  
Movement in the tile floor indicate poor tile adhesion and limited service life remaining. Budgeting for floor repairs recommended.



- 46. 1st Floor Bathroom Doors:** Hollow core-  
1. Loose hardware observed, securing hardware recommended.  
2. Door rubs at floor. Recommend door adjustment to prevent rubbing at floor.



- 47. 1st Floor Bathroom Sink/Basin:** Molded single bowl-  
Securing sink to base cabinet and wall advised.





## Marginal Summary (Continued)

### 48. 1st Floor Bathroom Toilets: Brand unknown-

The toilet is loose at the floor, plumber evaluation and repair advised. Wax ring installation may also be necessary.



## Kitchen

### 49. 3rd Floor Kitchen Electrical: 110 VAC lighting circuit-

A GFCI receptacle/circuit is recommended at receptacles within 6 feet of a water source.



### 50. 3rd Floor Kitchen Plumbing/Fixtures: Brand unknown-

Loose faucet noted. Securing the faucet is recommended.



### 51. 3rd Floor Kitchen Cabinets: Laminate-

Knobs/handles missing, consider handles/knobs for cabinet doors/drawers.

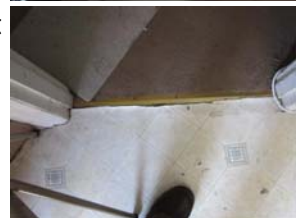


### 52. 3rd Floor Kitchen Ceiling: Painted wallboard/plaster-

Loose or peeling paint/paper evident, scraping and painting recommended. Roof leak should be suspected and investigated.



### 53. 3rd Floor Kitchen Floor: Vinyl floor covering- Loose or unsecured vinyl flooring noted at the kitchen entry. Flooring evaluation and securing to prevent a trip hazard recommended.





## Marginal Summary (Continued)

- 54. 3rd Floor Kitchen Windows:** Aluminum double hung-  
Unit couldn't lock when tested. Lock adjustment or window adjustment recommended.



- 55. 3rd Floor Kitchen HVAC Source:** Radiator- Peeling paint. Recommended scraping and painting.

- 56. 2nd Floor Kitchen Sink:** Stainless Steel-  
Loose faucet noted. Properly securing the faucet advised.



- 57. 2nd Floor Kitchen Electrical:** 110 VAC lighting circuit-  
A GFCI receptacle/circuit is recommended at receptacles within 6 feet of a water source.



- 58. 2nd Floor Kitchen Plumbing/Fixtures:** Brand unknown-  
Hot and cold operation reversed, recommended faucet line correction by a qualified plumber



- 59. 2nd Floor Kitchen Cabinets:** Laminate-  
Loosened hardware noted. Properly re-securing the hardware is recommended.



- 60. 2nd Floor Kitchen Windows:** Wood double hung-  
Deteriorated glazing noted. Window repairs/maintenance recommended to prevent further deterioration and potential air leaks.





## Marginal Summary (Continued)

**61. 1st Floor Kitchen Cooking Appliances:** Tappan-

Only one burner was operational when tested. Stove evaluation and repairs recommended.



**62. 1st Floor Kitchen Closets:** Pantry, Standard-

Doors do not catch in the jamb. Door hardware adjustments recommended.



**63. 1st Floor Kitchen Walls:** Painted wallboard-

Proper plug for the unused gas line is advised.



**64. 1st Floor Kitchen Doors:** Solid wood-

1. Rear entry door is in disrepair, repairs recommended to prolong door service life.

2. Peeling paint noted at the door jamb. This paint may contain lead. A lead test before disturbing advised.



**65. 1st Floor Kitchen Windows:** Vinyl double hung-

1. Unit couldn't open at rear wall when tested. Unit appears painted shut. Evaluation/repair or window adjustment recommended.

2. Screens missing at the left wall. Replacement/re-installation advised.





## Marginal Summary (Continued)

### Bedroom

**66. 3rd Floor Front Bedroom Closet:** Standard-

1. Door can not close in jamb, repair/adjustment recommended.
2. Peeling paint noted in closet. Scraping and painting recommended. Paint may contain lead. Protection against ingestion/inhalation advised.



**67. 3rd Floor Front Bedroom Ceiling:** Painted wallboard/plaster- Evidence of past or present water leakage, roof evaluation/repairs and cosmetic repairs recommended.



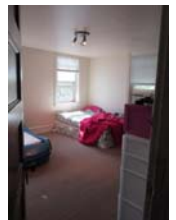
**68. 3rd Floor Front Bedroom Walls:** Painted wallboard-

- Evidence of past or present water penetration at the rear left wall. Exterior water intrusion control and cosmetic repairs recommended.



**69. 3rd Floor Front Bedroom Floor:** Carpet-

- Soiled carpet noted. Cleaning carpet recommended.



**70. 3rd Floor Front Bedroom Doors:** Wood paneled door-

- Loose hardware, securing hardware recommended.



**71. 3rd Floor Front Bedroom Electrical:** 110 VAC lighting circuit-

1. Damaged receptacle at the rear wall noted. Unit replacement for safety advised.
2. Older two prong receptacles noted, consider electrical upgrades.



## Bedroom (Continued)

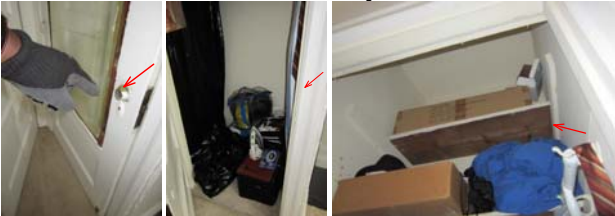
### Electrical: (continued)



**72. 3rd Floor Front Bedroom HVAC Source:** Radiator-  
Peeling paint noted. Recommended scraping and painting. Paint may contain lead. Lead testing prior to disturbing recommended.

**73. 2nd Floor Front Bedroom Closet:** Standard-  
1. Door hardware missing, replacement recommended.

2. Stored items limited visibility.



**74. 2nd Floor Front Bedroom Ceiling:** Painted wallboard/plaster-  
1. Cut out opening in the ceiling noted. Ceiling patching and repairs recommended.

2. Evidence of past or present water leakage at the front, roof evaluation/repairs and cosmetic repairs recommended.

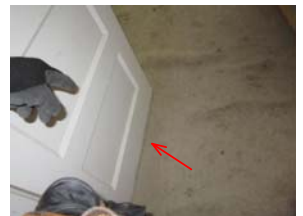


**75. 2nd Floor Front Bedroom Floor:** Carpet-  
1. Furnishings left behind by the tenants prevent full floor visibility. Comments reflect the visible areas of floor.

2. Soiled carpet areas noted. Carpet replacement needed.



**76. 2nd Floor Front Bedroom Doors:** Wood paneled door-  
Door rubs at floor. Recommend door adjustment to prevent rubbing at floor.





## Marginal Summary (Continued)

- 77. 2nd Floor Front Bedroom Windows:** Vinyl double hung-  
Unit couldn't lock when tested. Lock adjustment or window adjustment recommended.



- 78. 1st Floor Bedroom Closet:** Walk In-  
Door rubs at floor adjustment/trimming recommended.



- 79. 1st Floor Bedroom Walls:** Painted wallboard-  
Evidence of previous leaks at the entry opening and peeling paint noted at the wood trim. Scraping and painting recommended. Paint may contain lead. Protection against ingestion/inhalation advised.



- 80. 1st Floor Bedroom Floor:** Carpet-  
Soiled carpet noted. Carpet cleaning or replacement recommended.
- 81. 1st Floor Bedroom Electrical:** 110 VAC lighting circuit-  
Cover plates missing for receptacle noted. Cover replacements recommended for safety.



## Living Space

- 82. 3rd Floor Unit Hallway Living Space Closet:** Walk In-  
1. Door hardware missing, replacement recommended.
2. Leak at the ceiling hatch noted. This is indicating a roof leak. Roof evaluation and repairs advised.

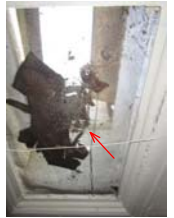


## Living Space (Continued)

### Closet: (continued)



- 83. 3rd Floor Unit Hallway Living Space Windows:** Skylight-  
Screen with debris noted. Clearing of the debris to facilitate ventilation advised.



- 84. 3rd Floor Unit Hallway Living Space Electrical:** 110 VAC lighting circuit-  
Bulb missing from the fixture. Bulb replacement advised.



- 85. 3rd Floor Hall and Stairs Living Space Interior Stairs and Railing:** Carpeted stairs and wood railing- Missing railing observed. Railing installation recommended for safety.



- 86. 3rd Floor Hall and Stairs Living Space Windows:** Aluminum double hung-  
1. Damaged tilt lock noted. This may allow the window to fall or dislodge from the sash when in operation. Window repairs recommended.

2. Screens missing. Replacement/re-installation prior to settlement advised.



- 87. 2nd Floor Hallway and Stairs Living Space Interior Stairs and Railing:** Carpeted stairs and wood railing-  
Missing railing observed. Railing installation recommended for safety.





## Marginal Summary (Continued)

- 88. 2nd Floor Hallway and Stairs Living Space Doors:** Hollow core, six panel, colonial door-  
An exterior grade door is recommended upon entry to the unit.



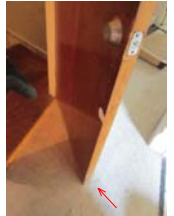
- 89. 2nd Floor Unit Hallway Living Space Floor:** Carpet-

1. Soiled carpet noted. Cleaning carpet recommended.
2. Loose carpet, carpet stretching to prevent a trip hazard recommended.

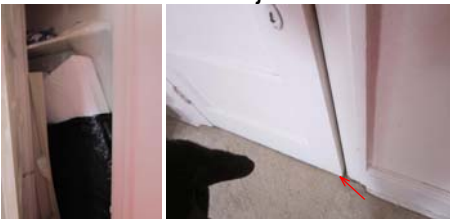


- 90. 2nd Floor Unit Hallway Living Space Doors:** Solid wood-

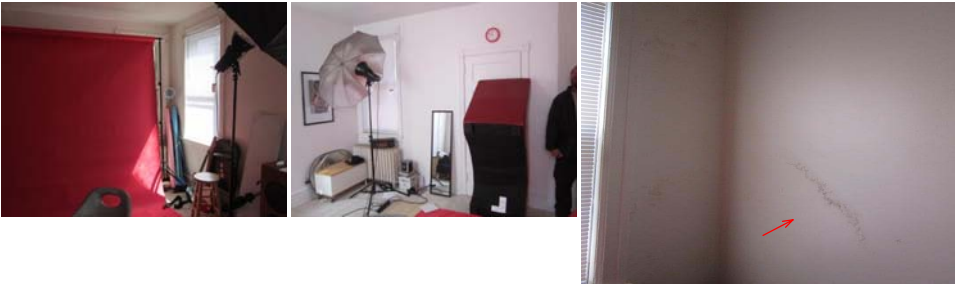
1. Door rubs at floor. Recommend door adjustment to prevent rubbing at floor.
2. Door handle hardware missing, replacement recommended.



- 91. 2nd Floor Living Room Living Space Closet:** Standard-  
Door rubs at floor adjustment/trimming recommended.



- 92. 2nd Floor Living Room Living Space Walls:** Painted wallboard/plaster-  
Evidence of past or present water penetration, exterior repairs/maintenance and cosmetic repairs recommended.



- 93. 2nd Floor Living Room Living Space Floor:** Carpet- Soiled carpet noted. Cleaning carpet recommended.



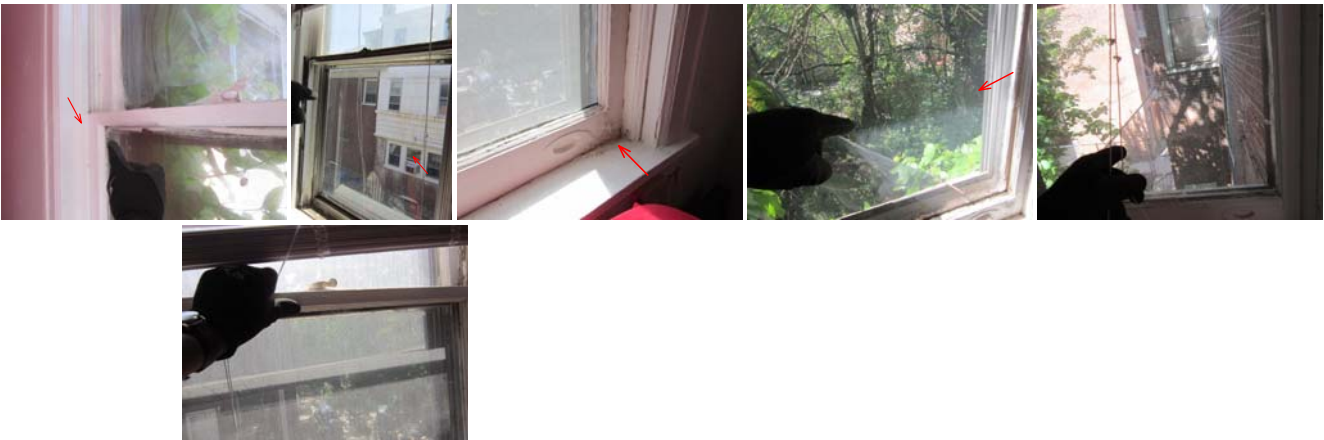
## Living Space (Continued)

### Floor: (continued)



#### 94. 2nd Floor Living Room Living Space Windows: Wood double hung, Aluminum double hung-

1. Missing/removed sash at the unit located at the left front region. Window repair/replacement needed.
2. Units at the left/right walls couldn't open when tested. Unit appears painted shut. Evaluation/repair or window adjustment recommended.
3. Screen damage/missing noted at the left/right wall units. Repair/replacement recommended.
4. Evidence of water/moisture at the left rear unit. Water penetration control needed.



#### 95. 1st Floor Living Room Living Space Ceiling: Painted wallboard/plaster-

Evidence of past or present water leakage left rear region, evaluation/repairs and cosmetic repairs recommended.

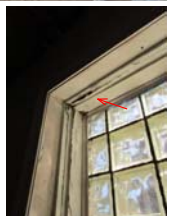
#### 96. 1st Floor Living Room Living Space Floor: Carpet-

1. Loose carpet, carpet stretching to prevent a trip hazard recommended.
2. Soiled carpet noted. Carpet cleaning or replacement needed.



#### 97. 1st Floor Living Room Living Space Windows: Glassblock, Stationary, Aluminum double hung-

1. Peeling paint observed at the window left wall. Scraping and painting recommended. Consider a lead testing.
2. The front unit was not observed from the interior due to furniture covering.





## Marginal Summary (Continued)

**98. 1st Floor Living Room Living Space Electrical:** 110 VAC lighting circuit- Cover plates and knob for lighting missing. Cover plate and knob replacement recommended.



**99. 1st Floor Entry Common Hall Living Space Doors:** Wood/glass- Loosened auto door closer noted. Re-securing recommended.



## Defective Summary

This summary is not the entire report. The complete report may include additional information of concern to the client. It is recommended that the client read the complete report.

### Lots and Grounds

#### 1. Steps/Stoops: Concrete, Wood-

1. Railing missing at the three sets of front stairs. Railings are recommended when three or more risers are present in the stair construction.
2. Stair damage/deterioration noted at the front entry. Stair repairs recommended for occupant safety.
3. Damage wooden stair rise and run noted at the rear of the building. Stair repairs/replacement recommended.



#### 2. Porch: Concrete- 1. Damaged left end roof rake end and wood framing noted. Area repairs by a qualified contractor is advised.

2. Deferred wood trim and ceiling maintenance noted through out. Porch exterior maintenance and repairs recommended by qualified contractors.



#### 3. Vegetation: Tree and shrubs-

1. Overgrown vegetation noted around the structure and vine growth upon the structure. Cutting back vegetation away from the building and removing the vine growth from the building is recommended.
2. Tree limbs close to the structure and may be causing damage to the roof or structure at the rear. Tree limb trimming away from the structure 5'-10' recommended.



#### 4. Basement Stairwell: Concrete-

- Deteriorated wooden door cover noted. Proper water tight basement walk out door installation is recommended.





## Defective Summary (Continued)

### 5. Grading: Negative Slope-

Poor slope apparent at the structure's rear. Debris and overgrown vegetation hamper visibility to be clear on the grading.

Grading improvement around the home's foundation is recommended to improve drainage and minimize water penetration in the basement.



## Exterior Surface and Components

### 6. Trim: Wood, Aluminum-

1. Wood trim at the front porch columns, wood beam cover, window trim, and entry door trim noted with significant peeling paint and deferred maintenance.

2. Left end of the porch with wood rot and significant damage. Area evaluation and a quote for repairs recommended.



### 7. Fascia: Wood, Metal-

Peeling paint noted throughout the fascias. Fascia scraping and painting/maintenance recommended to prevent further deterioration.



8. Door Bell: Hardwired- Units do not appear serviceable. Budgeting for door bell repairs advised.

### 9. Basement Windows: Wood Hinge Units, Boarded-

Only window screens were visible from the exterior. Deferred maintenance noted at the wood framed screens. Screen and trim maintenance to prevent wood decay is advised. Budgeting for window unit replacements advised.





## Defective Summary (Continued)

- 10. Exterior Lighting:** Surface Mounted- Unsafe and improper wiring noted for the rear flood lighting. Professional electrical corrections for outdoor lighting recommended.



## Roof

- 11. Porch Roof Surface Material:** Rolled roof material- Roof shows signs of deterioration, roof evaluation and estimate for repair/replacement recommended by a qualified roofer.



- 12. Downspouts:** Galvanized- Corroded and leaking rear downspout noted. Unit replacement recommended.

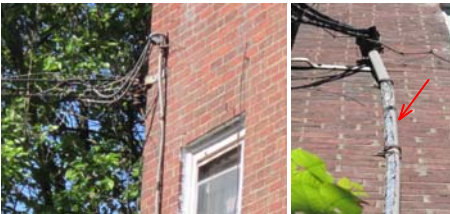


- 13. Left Side Roof Chimney Chimney:** Brick- 1. Brick deterioration noted and apparent deteriorated mortar cap. Chimney professional evaluation and repairs advised.



## Electrical

- 14. Service:** Aerial- Frayed service wire covering with ground wire exposure visible, replacement recommended by a qualified electrician.



- 15. Conductor Type:** Romex- Overgrown vegetation limited visibility. Rating reflects the visible areas.



## Electrical (Continued)

### Conductor Type: (continued)



## Basement

### 16. Subsurface Basement Walls: Painted wallboard/plaster-

1. Deteriorated plaster walls observed in the rear 'finished' area of the basement. Wall repairs needed.
2. The mortar coated masonry walls observed appeared serviceable.



### 17. Subsurface Basement Doors: Wood/glass-

1. The interior door noted within the basement was not tested. Visual inspection revealed no deficiencies.
2. The walk out hatch door is deteriorated and in need of replacement.



### 18. Subsurface Basement Windows: Wood framed-

Wood framed windows were found boarded or in disrepair. Unit replacements advised.



### 19. Subsurface Basement Moisture Location: Present-

1. Moisture at the front of the basement was observed. The uncovered waste piping with raw sewage in the area appears to have been the source of the moisture. However, storm water infiltration cannot be ruled out as a possible re-occurring condition.
2. Stored items within the basement were also noted with significant mold growth. Removal of stored items in the basement and sewage clean up to prevent a health concern is advised.



## Basement (Continued)

### Moisture Location: (continued)



### Heating System

- 20. Basement Heating System Thermostats:** Manual-Cover detached from the unit. Unit evaluation and repairs as needed recommended.



- 21. Fuel Tank:** Abandoned oil tank- Abandoned tank observed with some fuel apparently remaining in tank indicated by gauge. Professional fuel and tank removal recommended by a qualified professional.

### Plumbing

- 22. Drain Pipes:** Cast iron, PVC-
1. Detached piping in the area of the laundry tub located in the rear region of the basement. Piping evaluation and repairs to prevent sewer gases from entering the basement is advised.
  2. Corroded cast iron piping at the floor level noted at the basement front. Piping evaluation and replacement as needed by a qualified plumber is recommended.



- 23. Service Caps:** Missing-Service cap at the front basement piping missing/removed. A problem with sewer drainage is apparent. Plumber evaluation and repairs advised.



- 24. Basement Water Heater Water Heater Operation:** Not functional at time of inspection-Water heater appears to be at the end of it's serviceable life. Budgeting for replacement recommended.



- 25. Basement Water Heater Water Heater Operation:** Not functional at time of inspection-Water heater appears to be at the end of it's serviceable life. Budgeting for replacement recommended.



## Plumbing (Continued)

### Water Heater Operation: (continued)



## Bathroom

- 26. 3rd Floor Bathroom Faucets/Traps:** Brand unknown-  
Leak in drain line observed. Plumber repair is recommended.



- 27. 1st Floor Bathroom Counter/Cabinet:** Molded bowl and cabinet-  
1. Counter top/sink not properly mounted to cabinet, securing recommended by a qualified professional.  
2. Water damage noted at the base of the cabinet. Cabinet/vanity replacement recommended.



- 28. 1st Floor Bathroom Faucets/Traps:** Brand unknown-  
Deteriorated drain noted. Drain line replacement needed.



## Kitchen

- 29. 1st Floor Kitchen Cabinets:** Wood-  
Damaged cabinetry noted. Budgeting for new cabinetry is advised.





## Defective Summary (Continued)

### Bedroom

#### 30. 3rd Floor Front Bedroom Windows: Vinyl slider-

Windows couldn't lock and deteriorated glazing observed. Budgeting or widow repairs or replacement recommended.



#### 31. 2nd Floor Front Bedroom Electrical: 110 VAC lighting circuit-

No power at the rear wall receptacle, electrician evaluation/correction recommended.

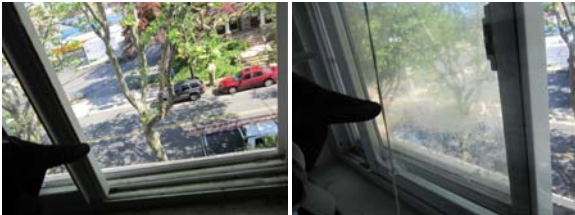


### Living Space

#### 32. 3rd Floor Living Room Living Space Windows: Vinyl slider-

1. Screens missing. Replacement/re-installation prior to settlement advised.

2. Moisture between panes of glass indicate defective thermal seal. Window repairs/replacement recommended.



#### 33. 3rd Floor Hall and Stairs Living Space Ceiling: Painted wallboard/plaster-

Water damaged ceiling noted. Ceiling repair/replacement needed.



#### 34. 3rd Floor Hall and Stairs Living Space Walls: Painted wallboard-

Water damaged wall area noted. Wall repairs recommended.